

# 2 TARRAGON WAY MICKLEHAM

3 BED | STUDY | 2 BATH | 1 CAR



# The area



**Melbourne CBD**  
40 minute drive



**Craigieburn Central**  
10 minute drive



**Melbourne Airport**  
20 minute drive



**Donnybrook Station**  
10 minute drive



**Hume Freeway**  
10 minute drive



**Northern Hospital**  
25 minute drive



**Craigieburn Secondary School**  
15 minute drive



**Mickleham Primary School**  
5 minute drive





Mickleham Road



2 Tarragon Way

Proposed shopping village

Proposed sports oval

Proposed sporting facilities



Melbourne CBD



Hume Freeway



# The property.



# The residence



A light-filled 3 bedroom home situated in Mickleham's newest community, Botanical, just steps away from proposed sporting facilities and shopping village.



# The features

- Front landscaping
- Remote operated single garage
- Backyard with storage shed
- Ducted heating
- Evaporative cooling
- Downlights throughout
- Stylish timber laminate flooring (living, kitchen, study, entry)
- Carpet (bedrooms)
- Roller blinds to all windows



# The kitchen

Equipped with 20mm stone bench tops and classic white overhead cupboards & soft close drawers.

Large double bowl stainless steel sink & tapware.

900mm stainless steel rangehood, cooktop & oven. Stainless steel dishwasher.

Stylish subway tile splashback.



# The bathrooms

The ensuite and bathroom have been designed with style and durability top of mind.

Features include;

- 20mm stone bench tops
- modern white cupboards
- stylish basins
- stainless steel tapware
- spacious 1500x900mm shower with a tiled base.







# The living & dining

This light-filled, open-plan living, meals and dining space is suitable for the whole family to enjoy. Lit up by a number of downlights & large windows.

Guests will notice the statement this timber laminate flooring makes upon entrance, providing a sense of lasting style.

Keep cool in summer and warm in winter with the likes of Ducted Heating and Evaporative Cooling systems that operate throughout the entire home.



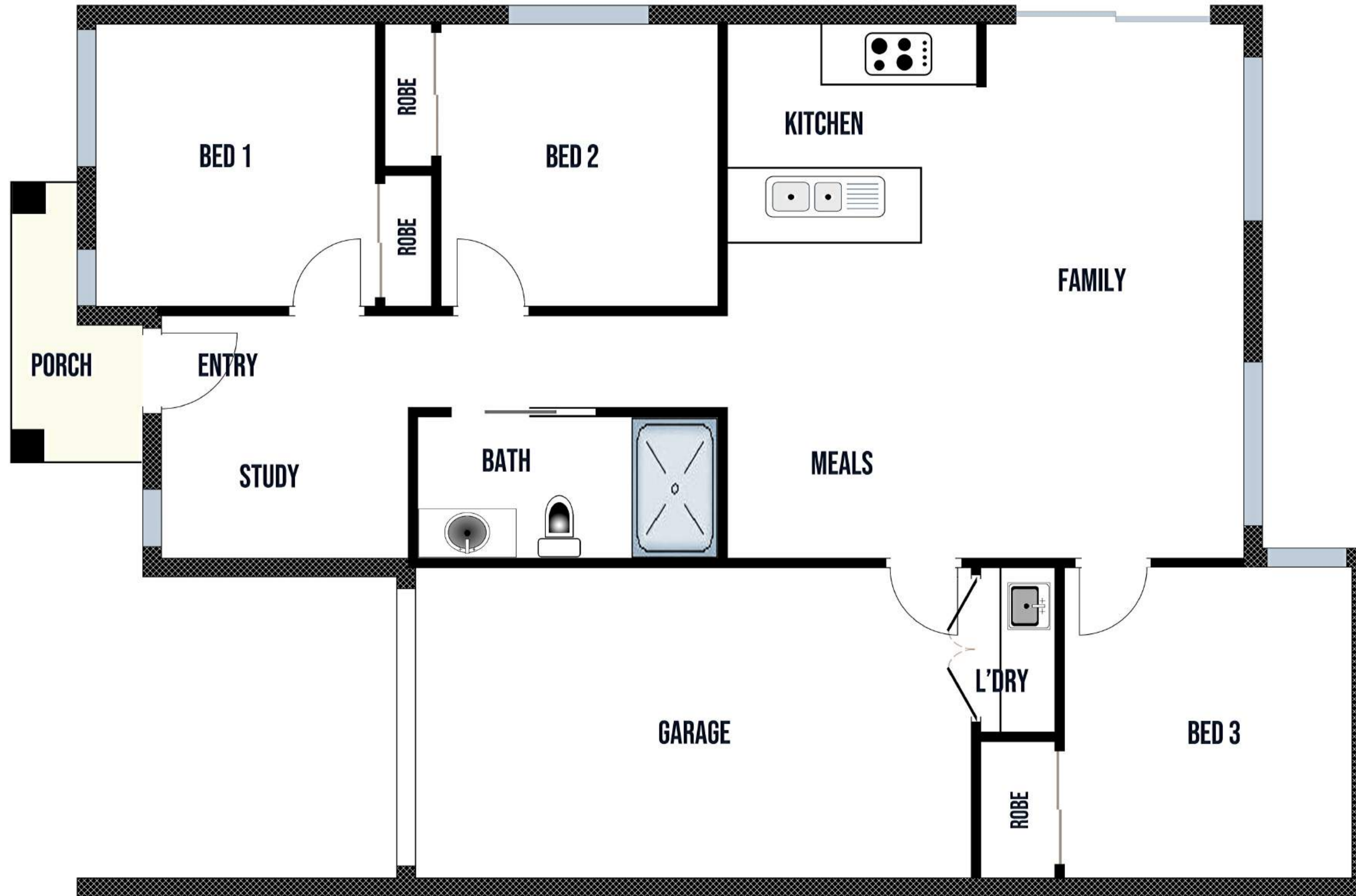
# The study nook

Secluded from the family living and meals area, this generously sized study nook at the front of the home, is the perfect place to get in some extra hours of business or study.



# The floor plan

2 TERRAGON WAY  
MICKLEHAM, VIC 3064



Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

# The deal

## **Sale terms**

10% deposit on signing an unconditional contract, balance payable 30, 60, or 90 days from the day of sale.

## **Further documents available (upon request)**

Working drawings

Botanical Estate Masterplan

Virtual walk through

Professional photos

